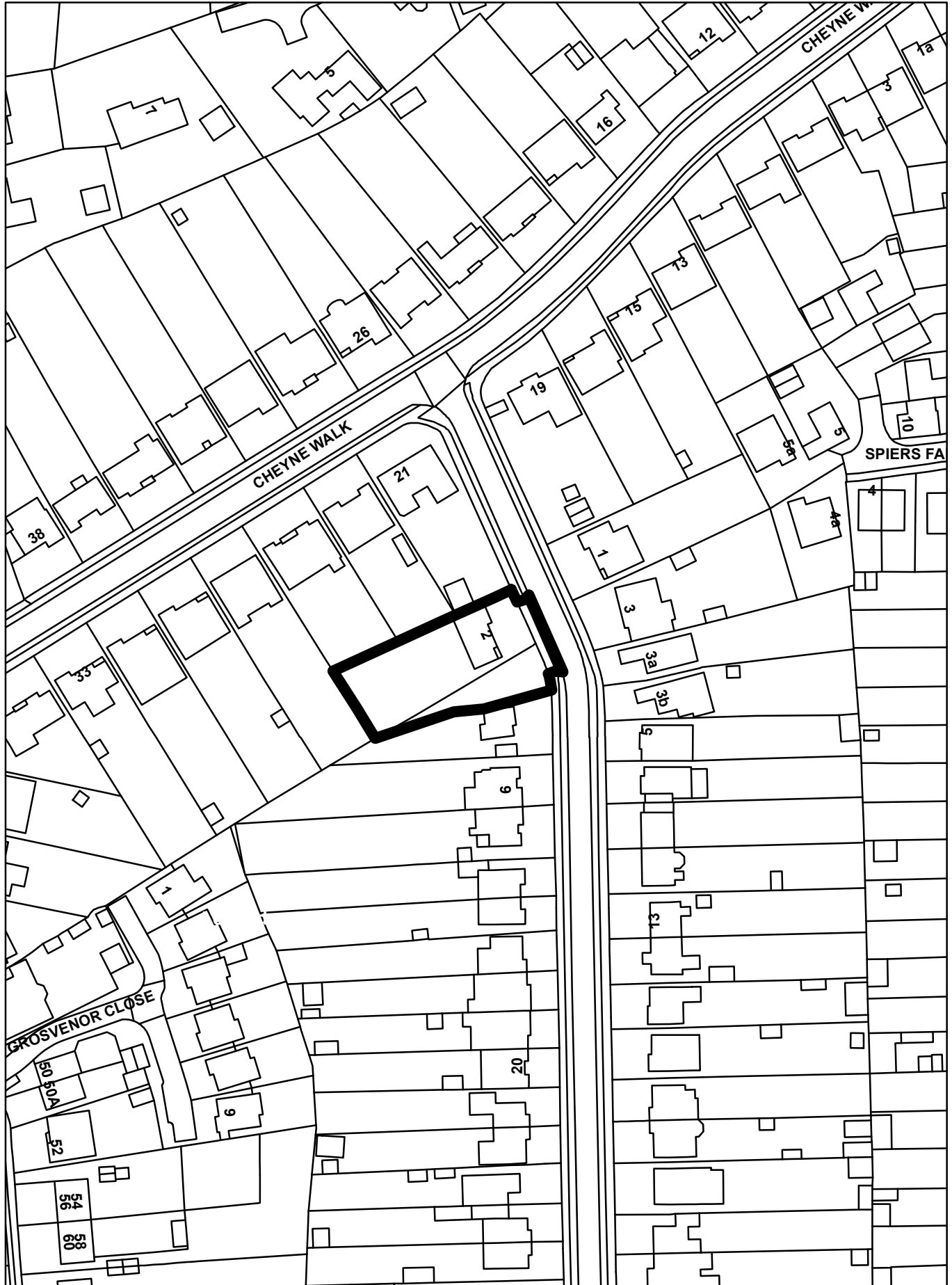


23/01653/F - 2 And 4 Fairfield Avenue, Horley







SCALE @ A1: 1:100
SCALE @ A3: 1:200

0 1.0 2.0 3.0 4.0 M

A1
A3

N



NOTES

- Default drawing size is A1
- To print at A3 please 'scale by 50%'
- Check printed scale against scale bar above

Key

- Existing Trees Outline
- 1. Permeable Block Paving
- 2. Sandstone Paving
- 3. Native Low Level Planting Species
- 4. Native Tree Species
- 5. Refuse Storage
- 6. Bicycle Storage
- 7. 1.8m Closeboard Fence

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REV.	DATE	NOTES
D1	13/02/2023	Draft Issue to Client for review
D2	19/06/2023	Draft issue to client
D3	20/06/2023	Draft issue to client
D4	03/07/2023	Draft issue for review
P1	19/07/2023	Planning issue
P2	03/08/2023	Updated Planning Issue
P3	17/08/2023	Updated Application Boundary
P4	18/10/2023	Updated roof design to Planner Comments
P5	06/11/2023	Updated roof design to unit 2a to Planner comments

PROJECT
Fairfield Avenue

CLIENT
Fairfield Horley

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1 The Quarry,
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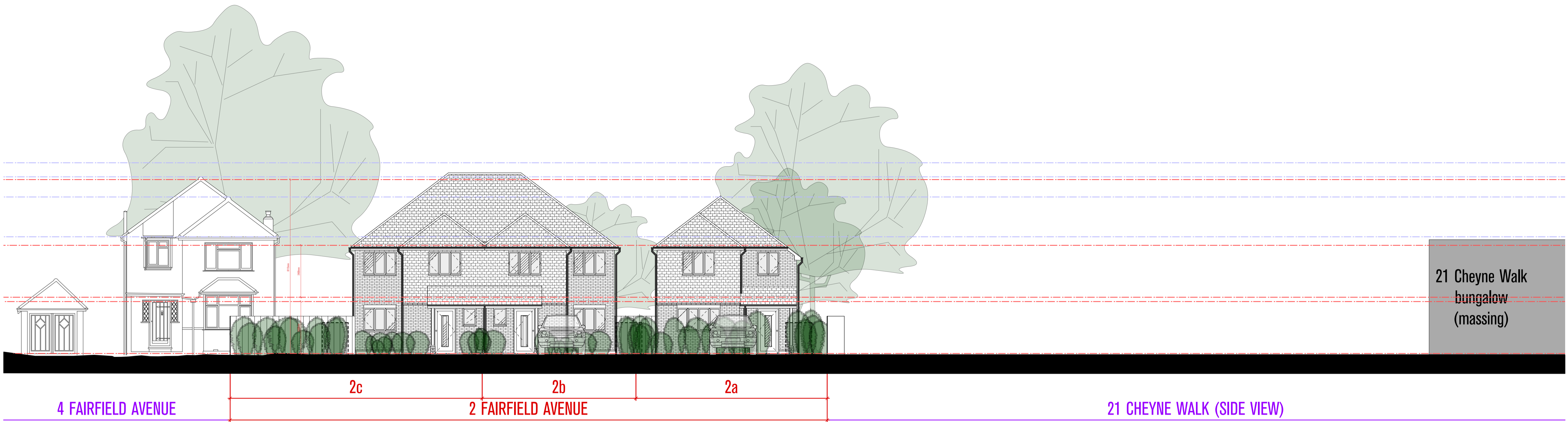
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STATUS PLANNING	DRAWN BY IL	CHECKED BY CC
JOB NO. A4495	DRAWING NO. 2000	REV P5
DRAWING TITLE Proposed Site Plan		

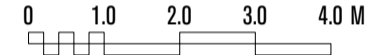
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21 Cheyne Walk
bungalow
(massing)

Proposed Street Scene
Scale 1:100 @ A1
1:200 @ A3



NOTES

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REV.	DATE	NOTES
D1	13/02/2023	Draft Issue to Client for review
D2	19/06/2023	Draft issue to client
D4	03/07/2023	Draft issue for review
P1	19/07/2023	Planning issue
P2	18/10/2023	Updated roof design to Planner Comments

PROJECT
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STATUS	DRAWN BY	CHECKED BY
PLANNING	IL	CC
JOB NO.	DRAWING NO.	REV
A4495	2250	P2
DRAWING TITLE		
Proposed GA Street Scene		



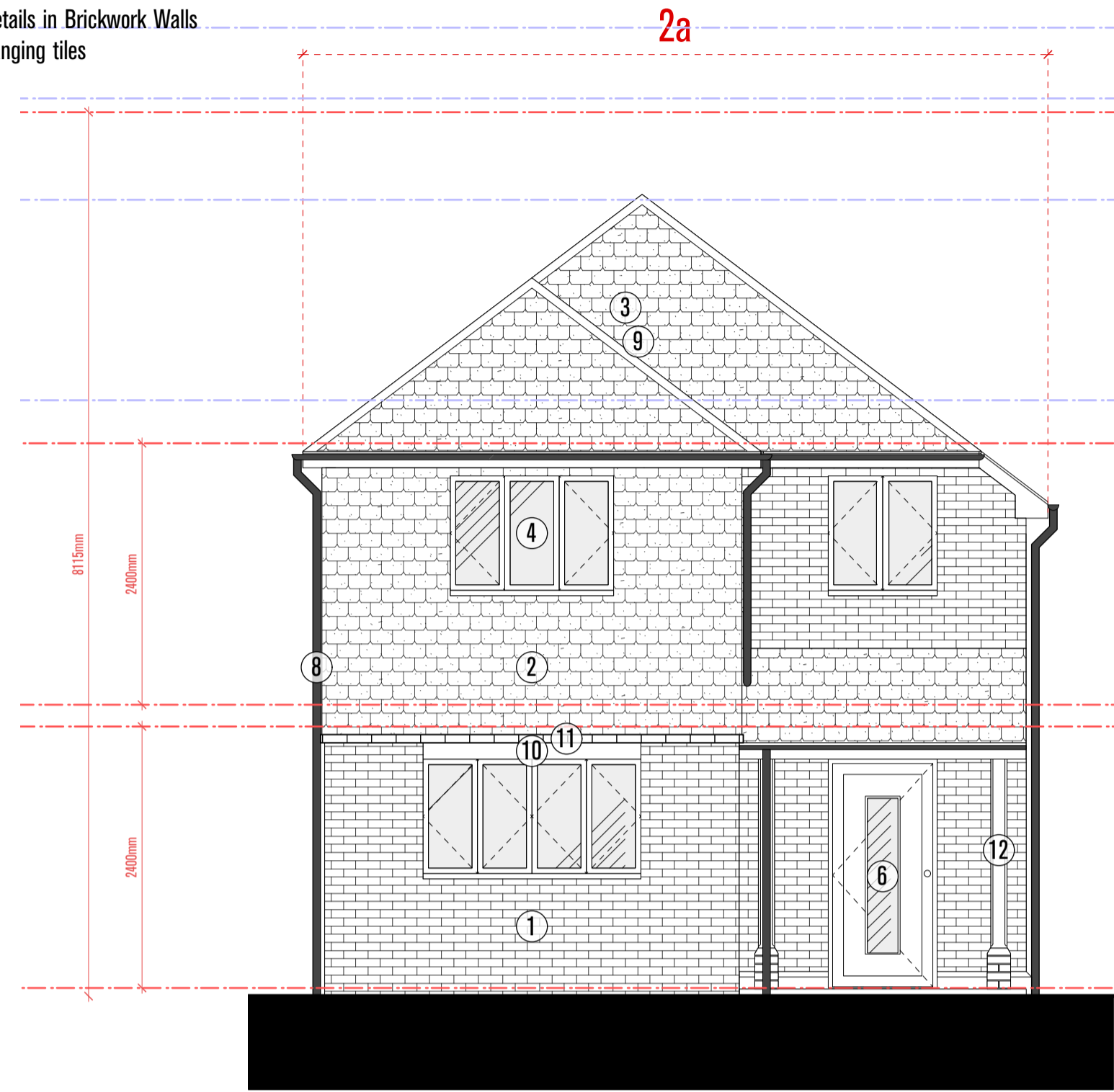
Proposed Street Scene (Close-Up)
Scale 1:50 @ A1
1:100 @ A3

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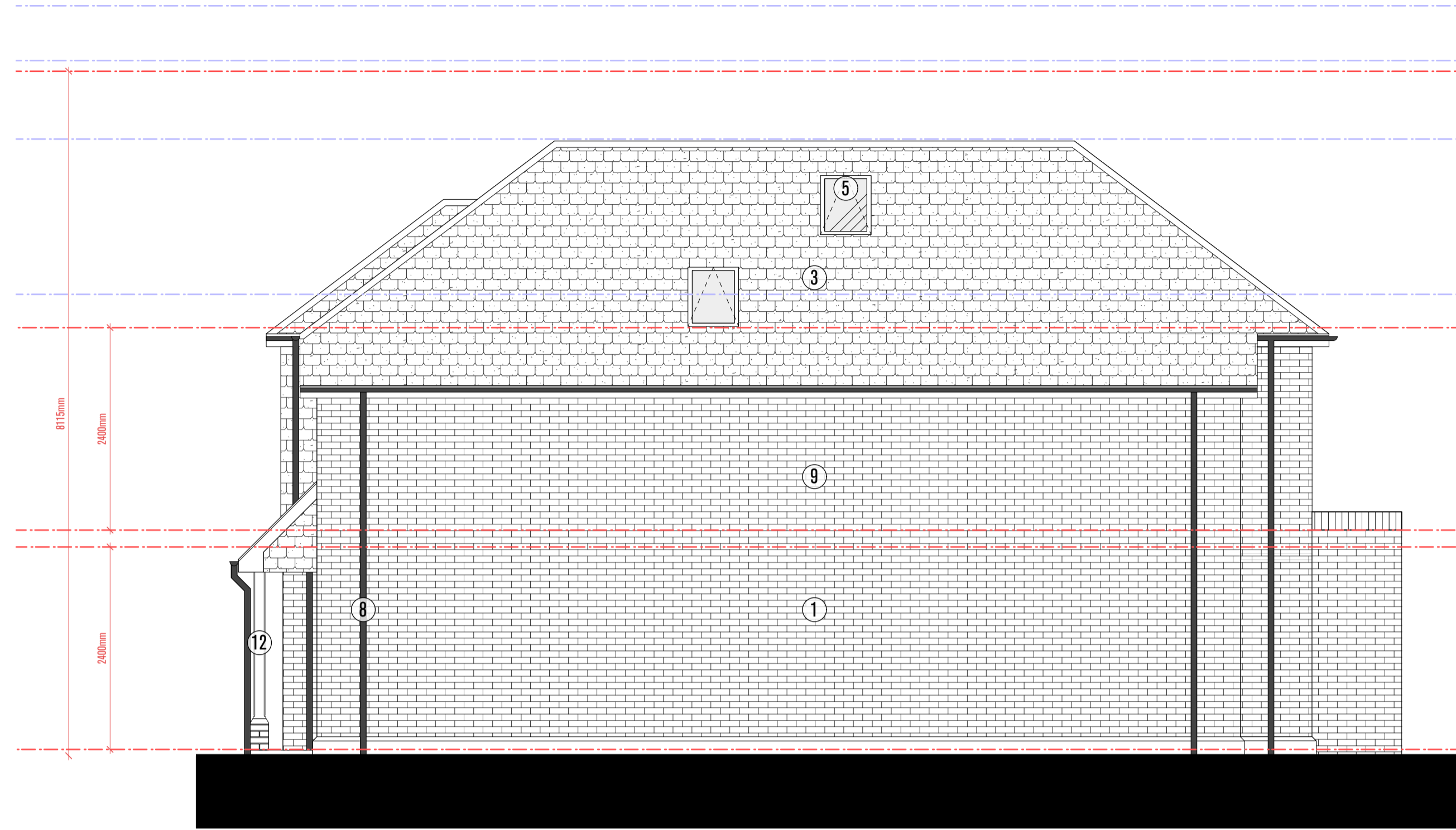
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Key

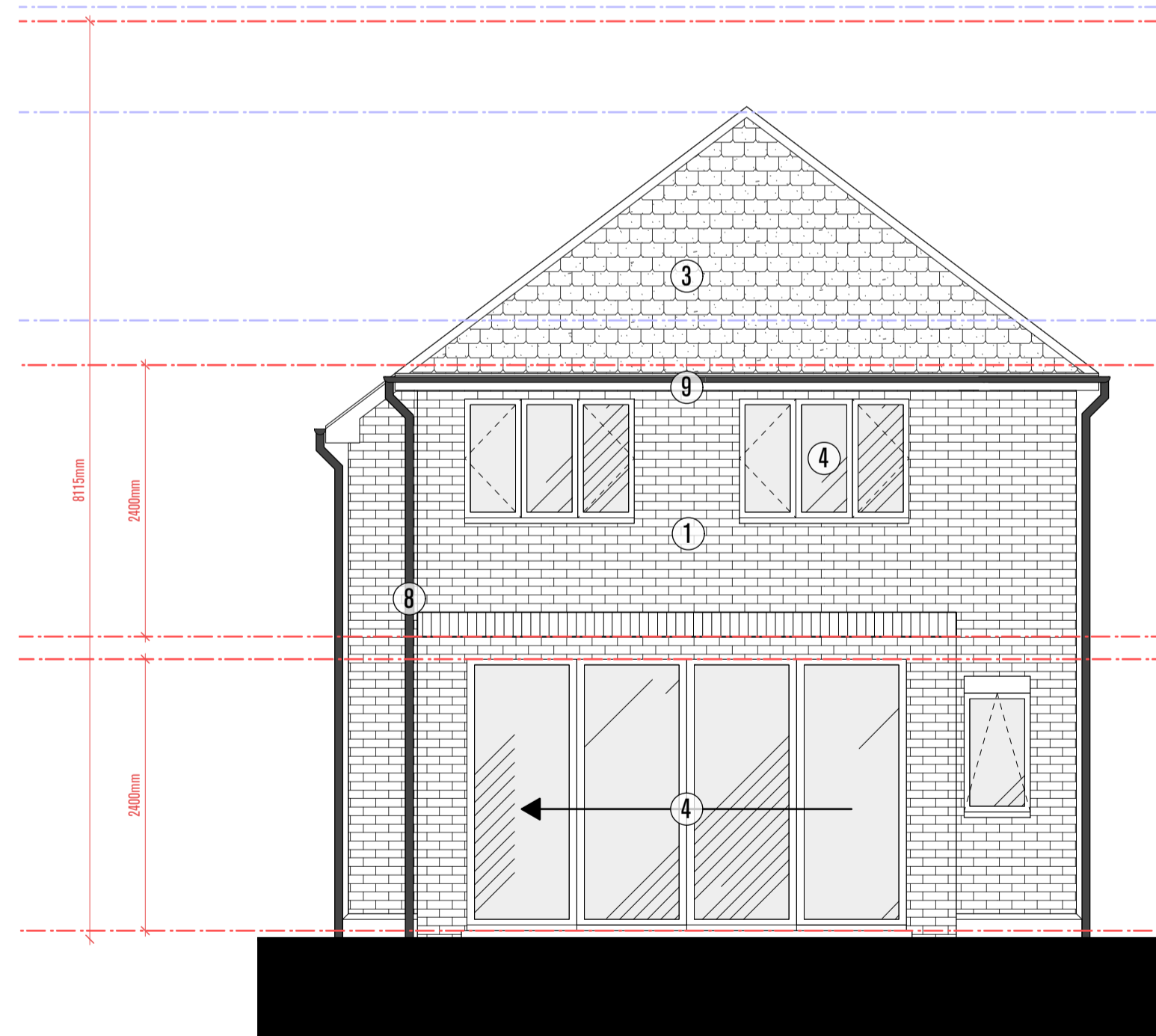
1. Brickwork - mixed red/brown bricks (inspired by local context)
2. Wall - Plain Clay Sand Faced Hang Tiles
3. Roof tiles - Plain Clay Sand Tiles
4. Windows - White Double-glazed + glazed doors
5. Roof Windows - Double-glazed in grey frames
6. Entrance Door - Grey Composite in white frames + double glazed sidelight
7. Secondary Door - TBC
8. Rainwater goods - black uPVC
9. Fascias - white, decorated; soffits, bargeboards
10. Painted Brick/Rendered Window Header Details in Brickwork Walls
11. Brickwork Corbel Detail - to base of the hanging tiles
12. Porch Support Posts - stained Timber



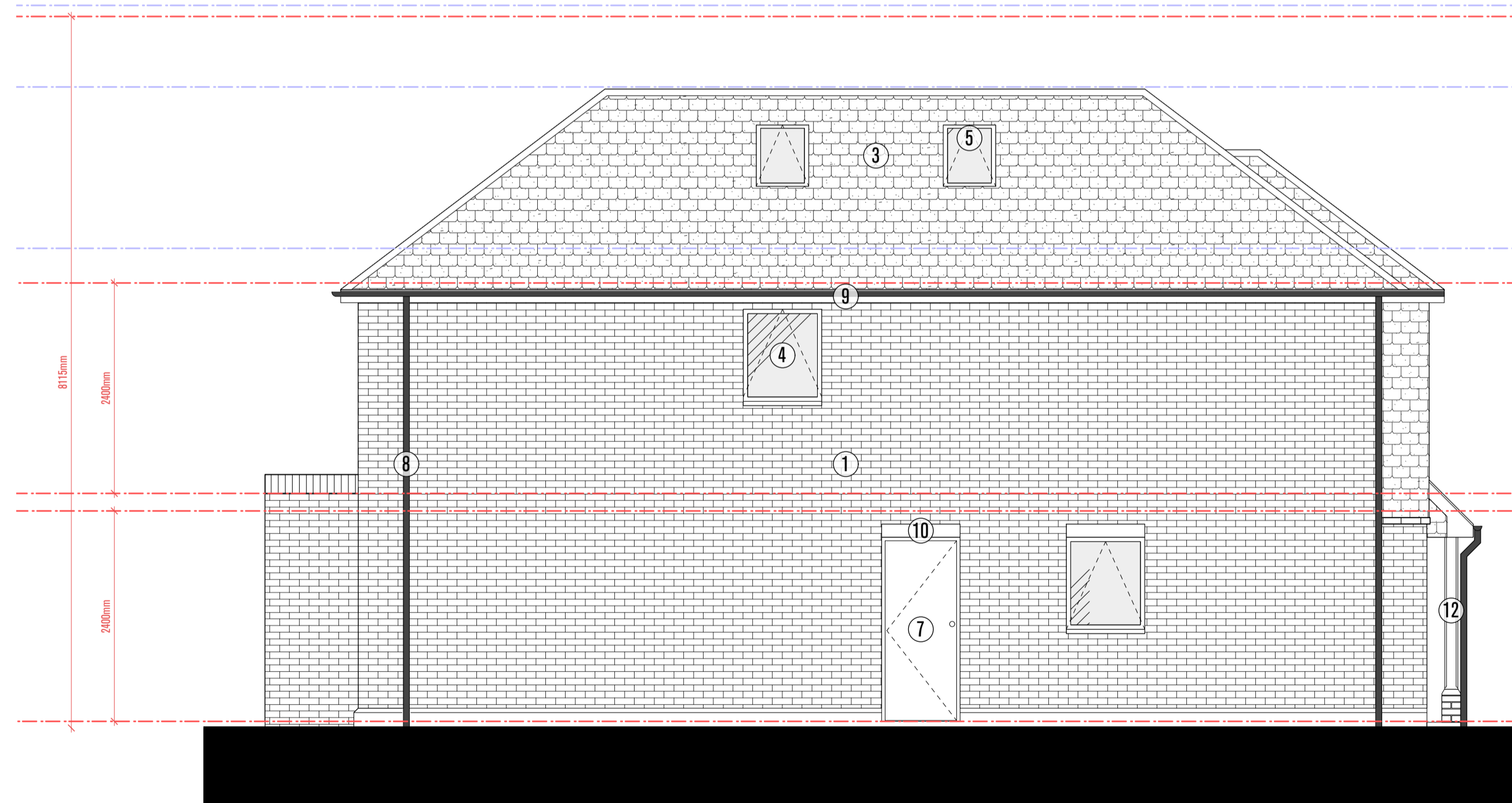
Elevation A



Elevation B



Elevation C



Elevation D

SCALE @ A1: 1:50
SCALE @ A3: 1:100

A1
A3

NOTES

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REV.	DATE	NOTES
D1	13/02/2023	Draft Issue to Client for review
D2	19/06/2023	Draft issue to client
D3	20/06/2023	Draft issue to client
D4	03/07/2023	Draft issue for review
P1	19/07/2023	Planning issue
P2	18/10/2023	Updated roof design to Planner Comments
P3	06/11/2023	Updated rear elevation detail to unit 2a. to Planner comments
P4	13/11/2023	Updated first floor plan and elevation drawings

PROJECT
Fairfield Avenue

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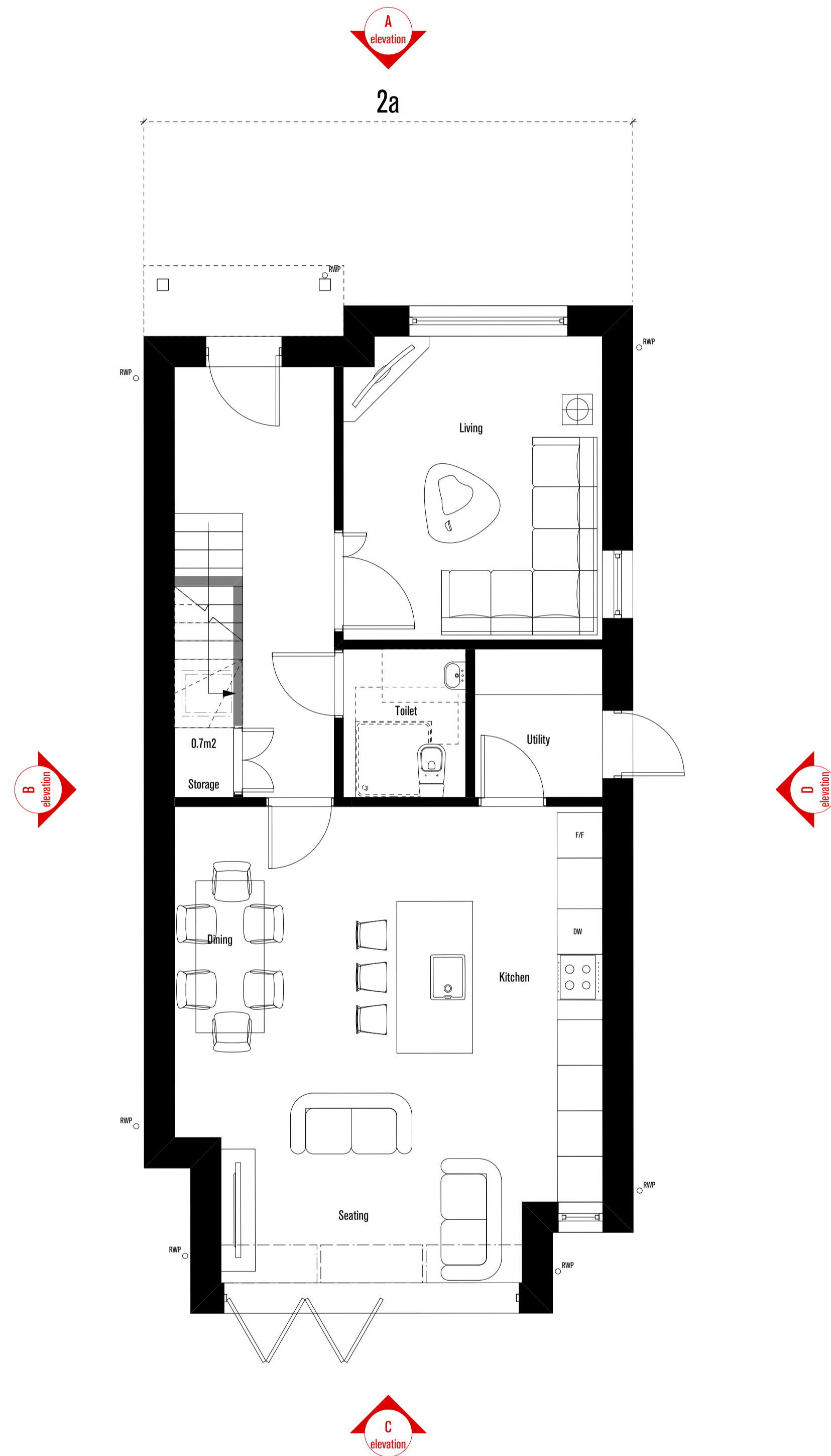
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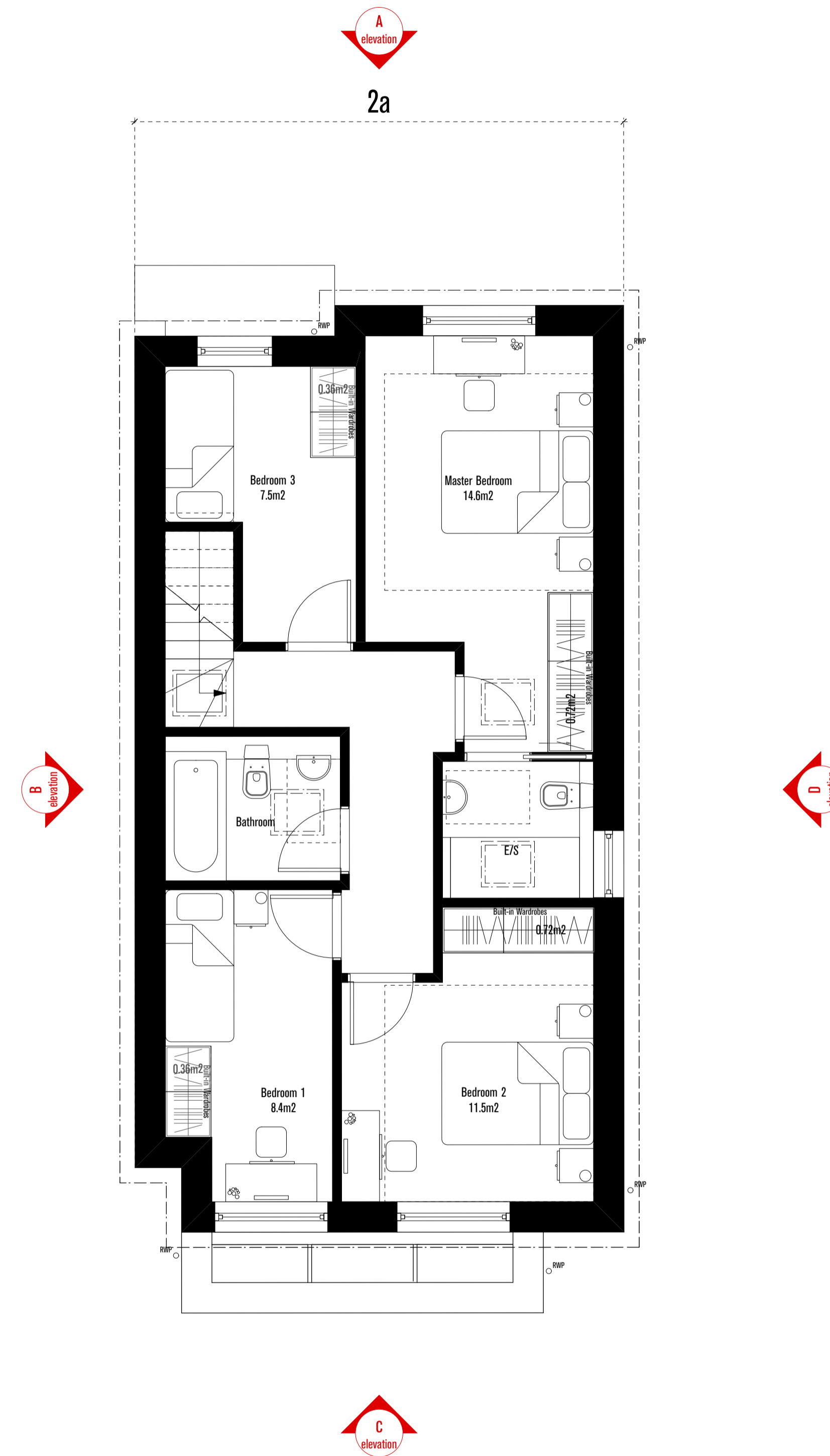
STATUS	DRAWN BY	CHECKED BY
PLANNING	IL	CC
JOB NO.	DRAWING NO.	REV
A4495	2200	P4
DRAWING TITLE		
Proposed GA Elevations - Unit 2a		

SCALE @ A1: 1:50
SCALE @ A3: 1:100

A1
A3



Ground Floor Plan
Floor GIA - 66.9m²
Total GIA - 133.7m²



First Floor Plan
Floor GIA - 66.8m²
Total GIA - 133.7m²

NOTES

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REV.	DATE	NOTES
D1	13/02/2023	Draft issue to Client for review
D2	19/06/2023	Draft issue to client
D4	03/07/2023	Draft issue for review
P1	19/07/2023	Planning issue
P2	06/11/2023	Updated first floor design to unit '2a, to Planner comments
P4	13/11/2023	Updated first floor plan and elevation drawings

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A4495	2100	P4
DRAWING TITLE		
Proposed GA Plans - Unit 2a		

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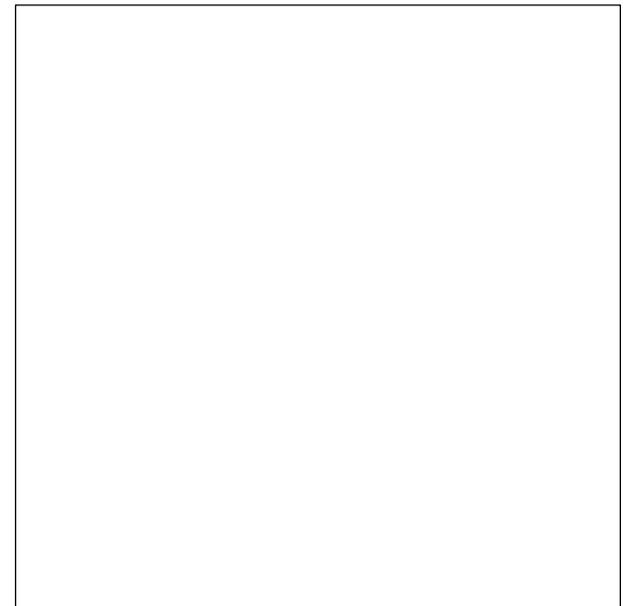
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Key

1. Brickwork - mixed red/brown bricks (inspired by local context)
2. Wall - Plain Clay Sand Faced Hang Tiles
3. Roof tiles - Plain Clay Sand Tiles
4. Windows - White Double-glazed + glazed doors
5. Roof Windows - Double-glazed in grey frames
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7. Secondary Door - TBC
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9. Fascias - white, decorated; soffits, bargeboards
10. Painted Brick/Rendered Window Header Details in Brickwork Walls
11. Brickwork Corbel Detail - to base of the hanging tiles
12. Porch Support Posts - stained Timber

SCALE @ A1: 1:50
SCALE @ A3: 1:100

A1
A3



NOTES

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D1	13/02/2023	Draft Issue to Client for review
D2	19/06/2023	Draft issue to client
D4	03/07/2023	Draft issue for review
P1	19/07/2023	Planning Issue
P2	18/10/2023	Updated roof design to Planner Comments

PROJECT
Fairfield Avenue

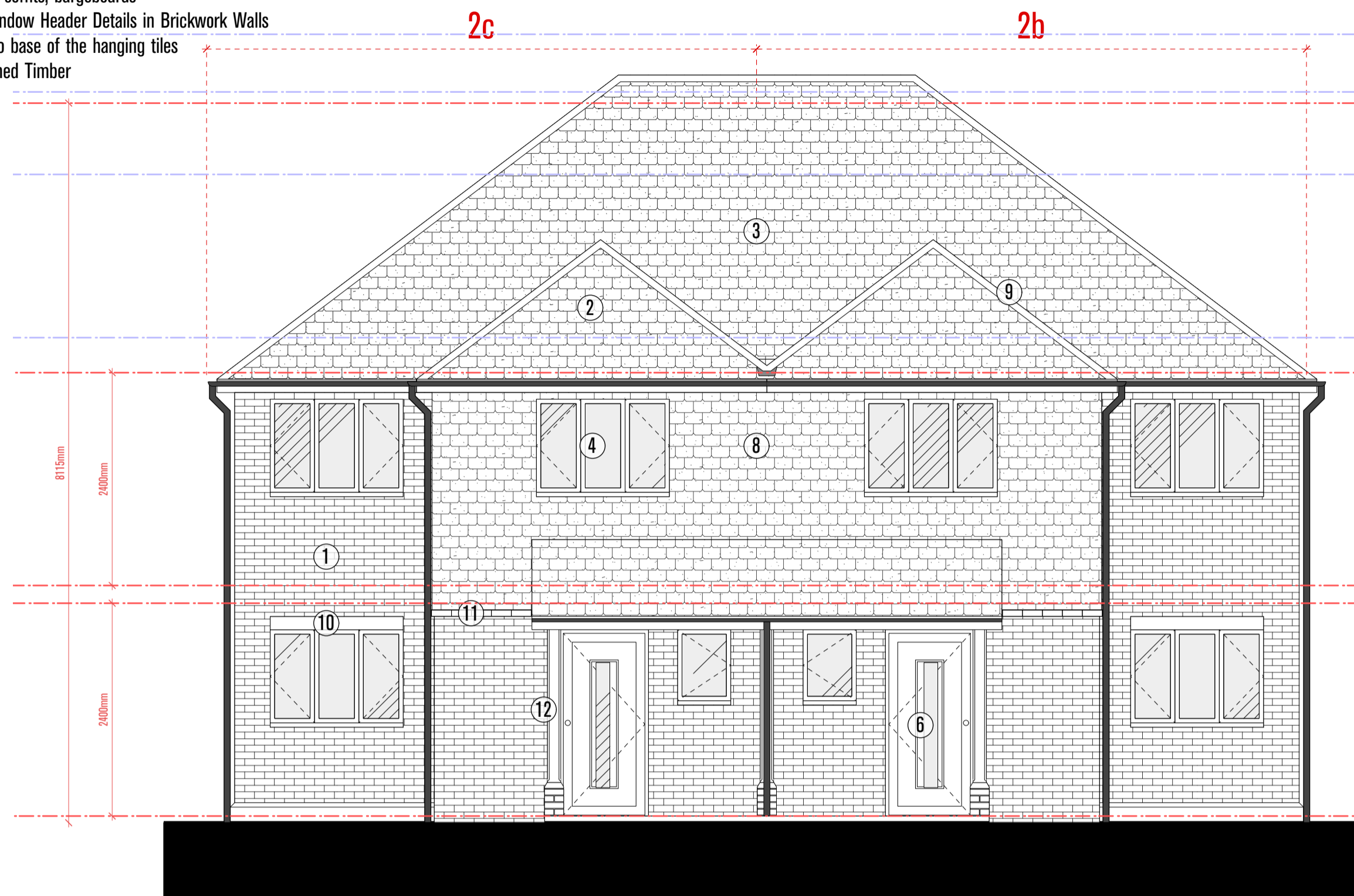
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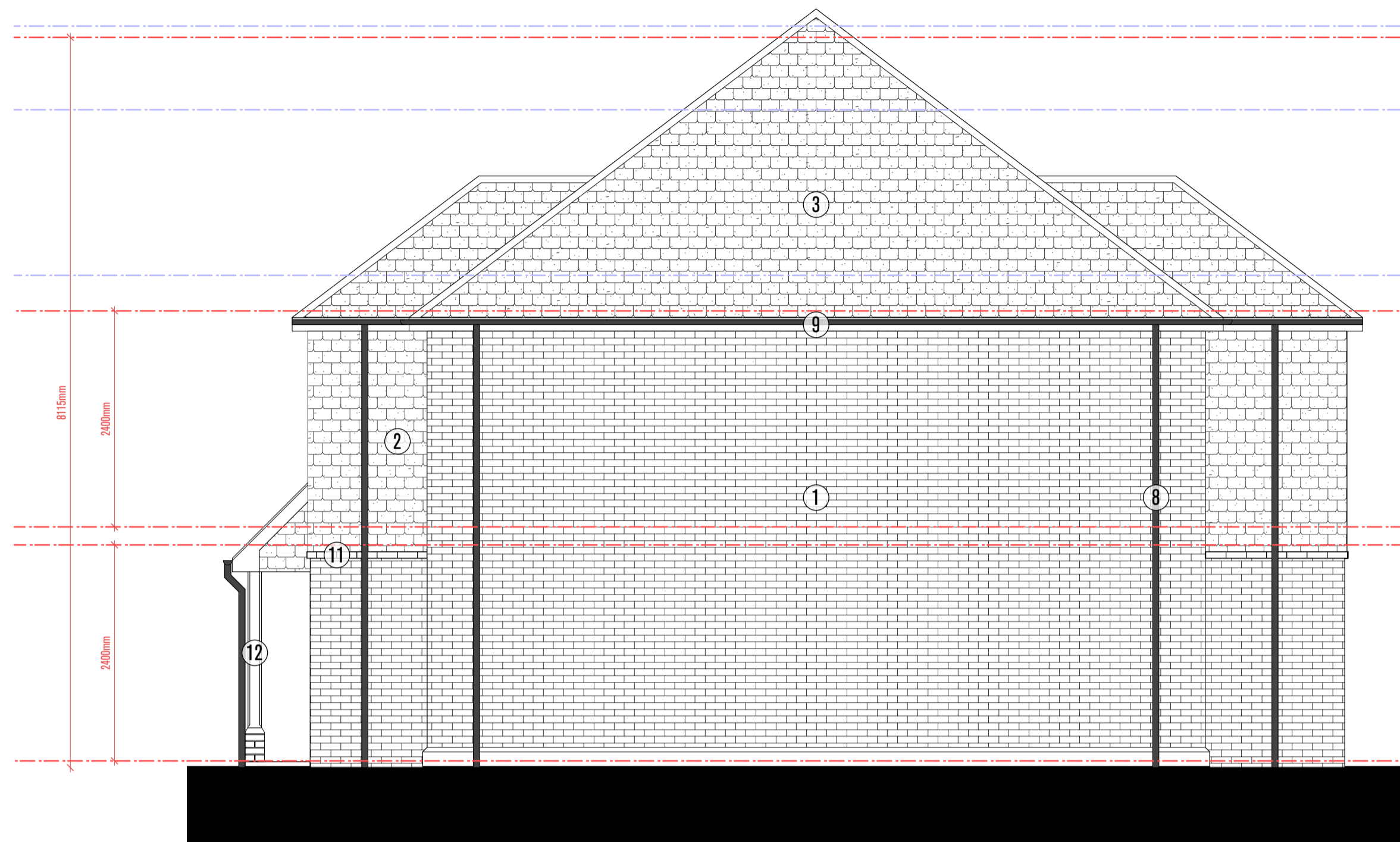
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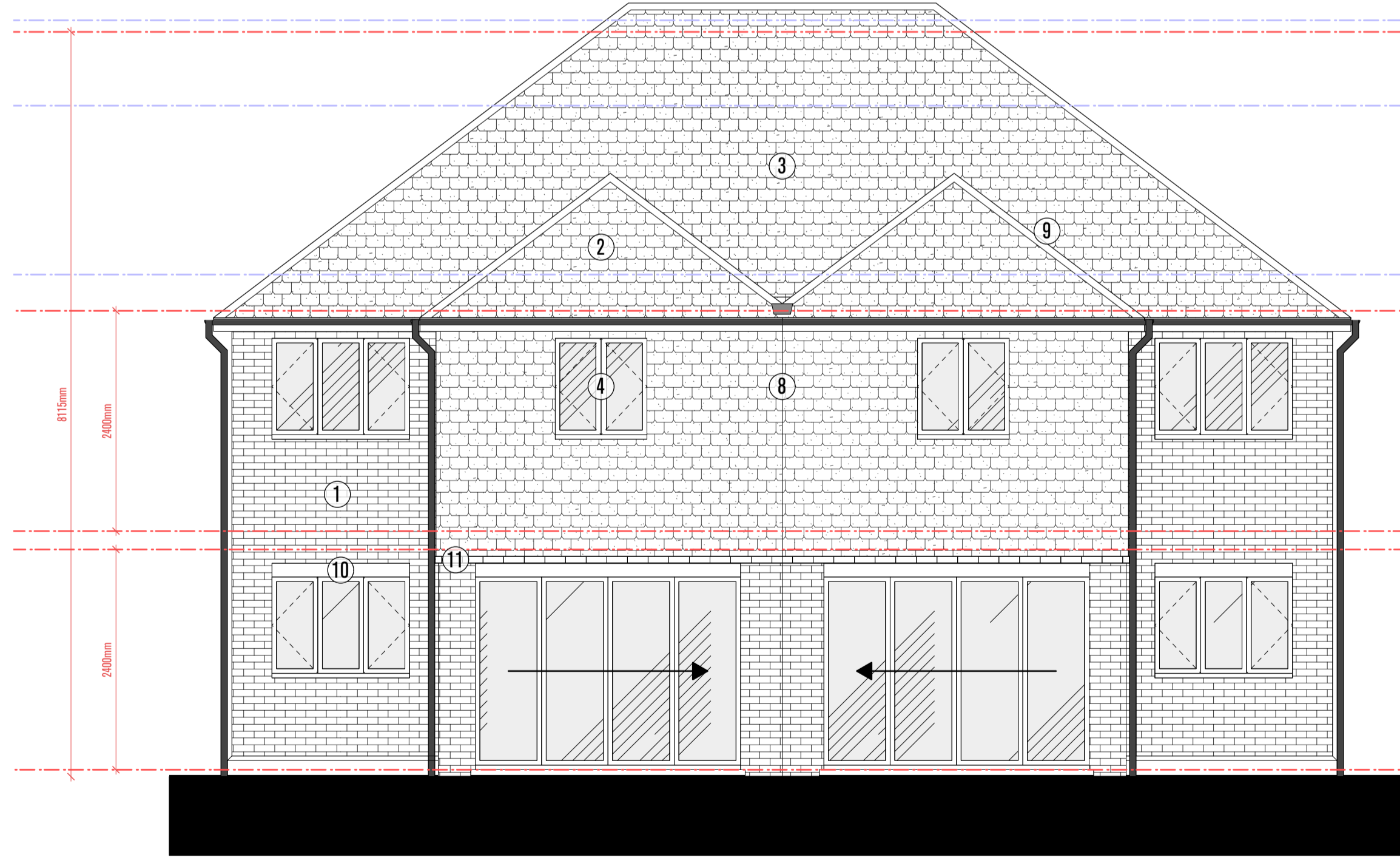
STATUS	DRAWN BY	CHECKED BY
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JOB NO.	DRAWING NO.	REV
A4495	2201	P2
DRAWING TITLE		
Proposed GA Elevations - Units 2b & 2c		



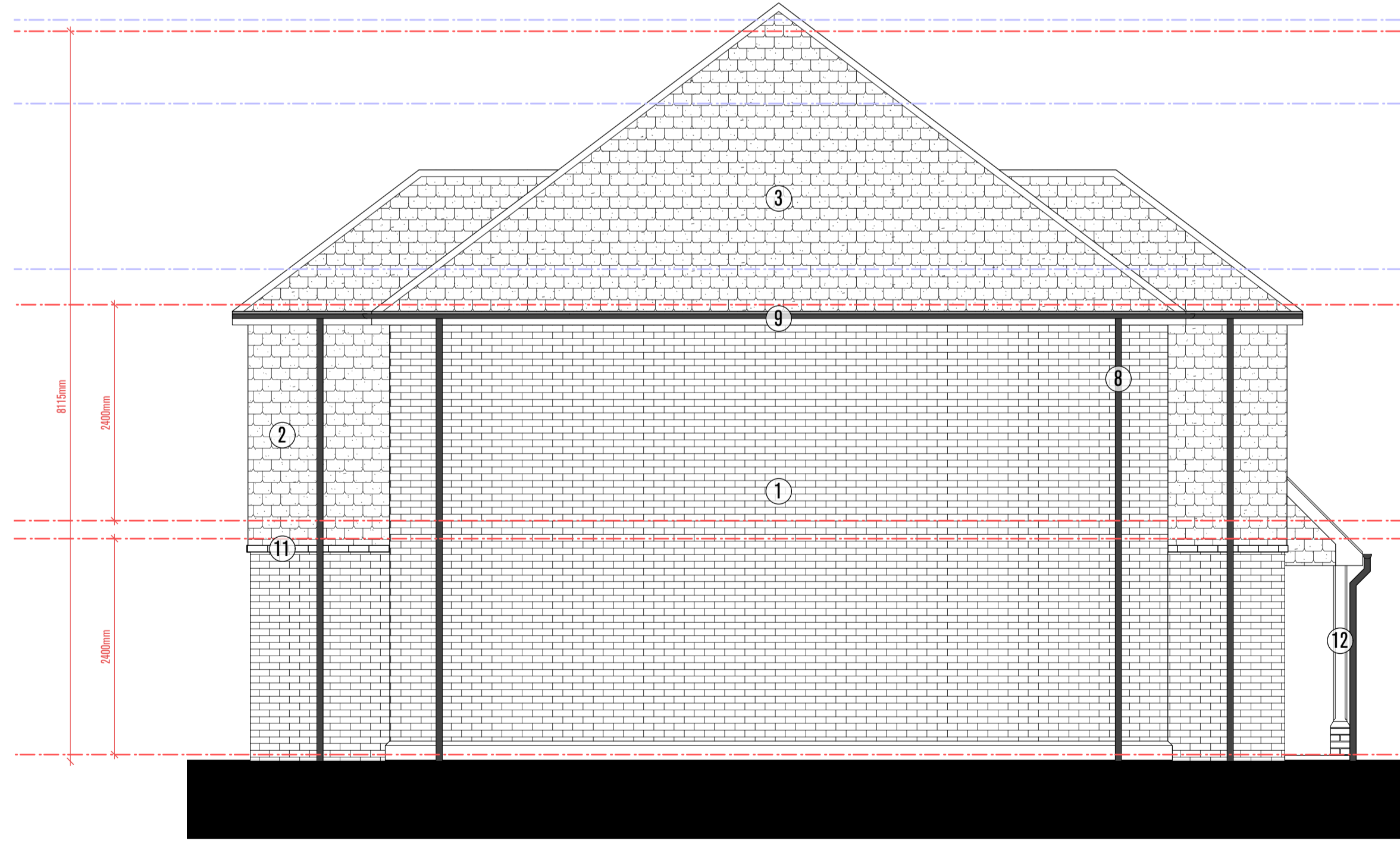
Elevation A



Elevation B



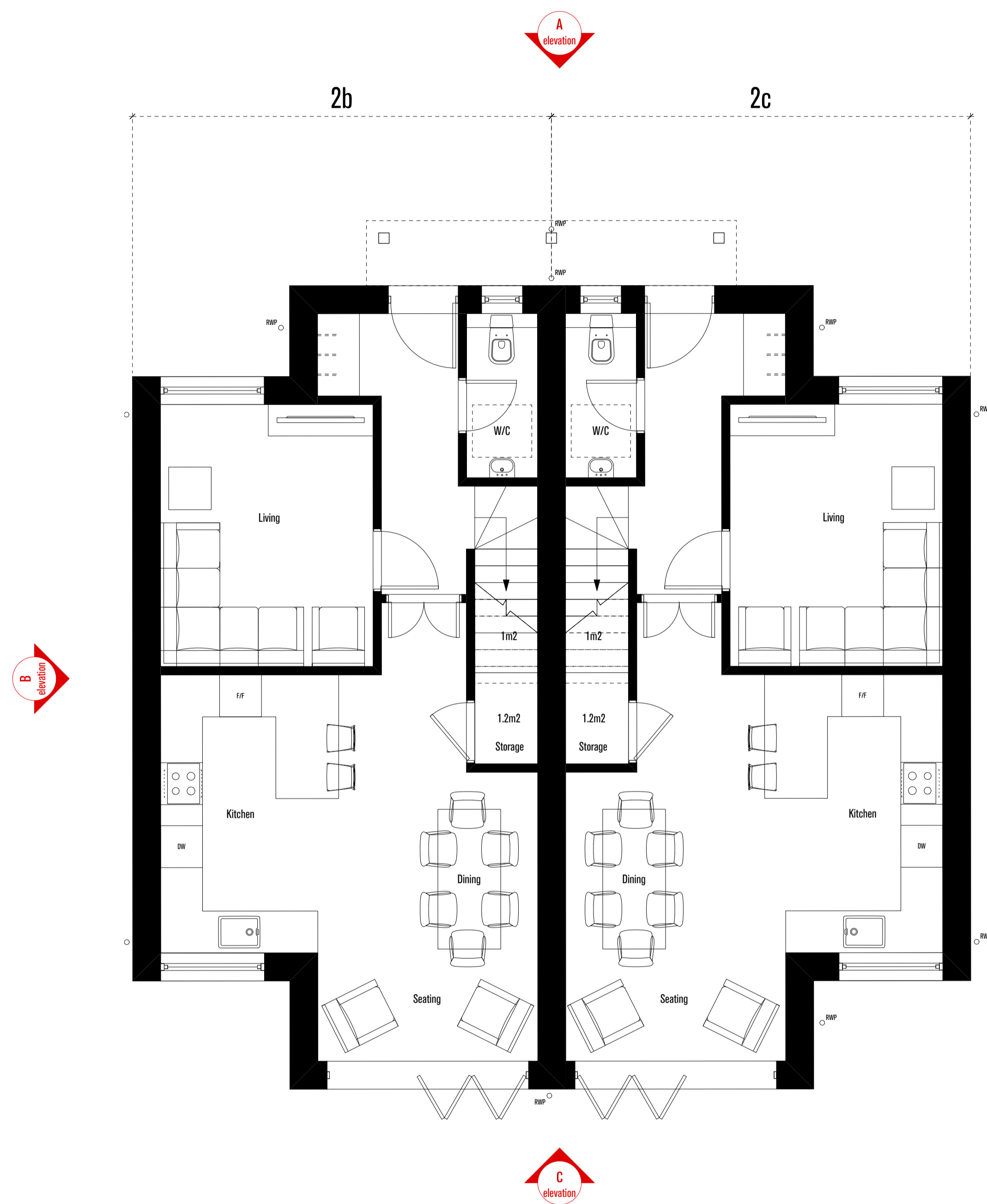
Elevation C



Elevation D

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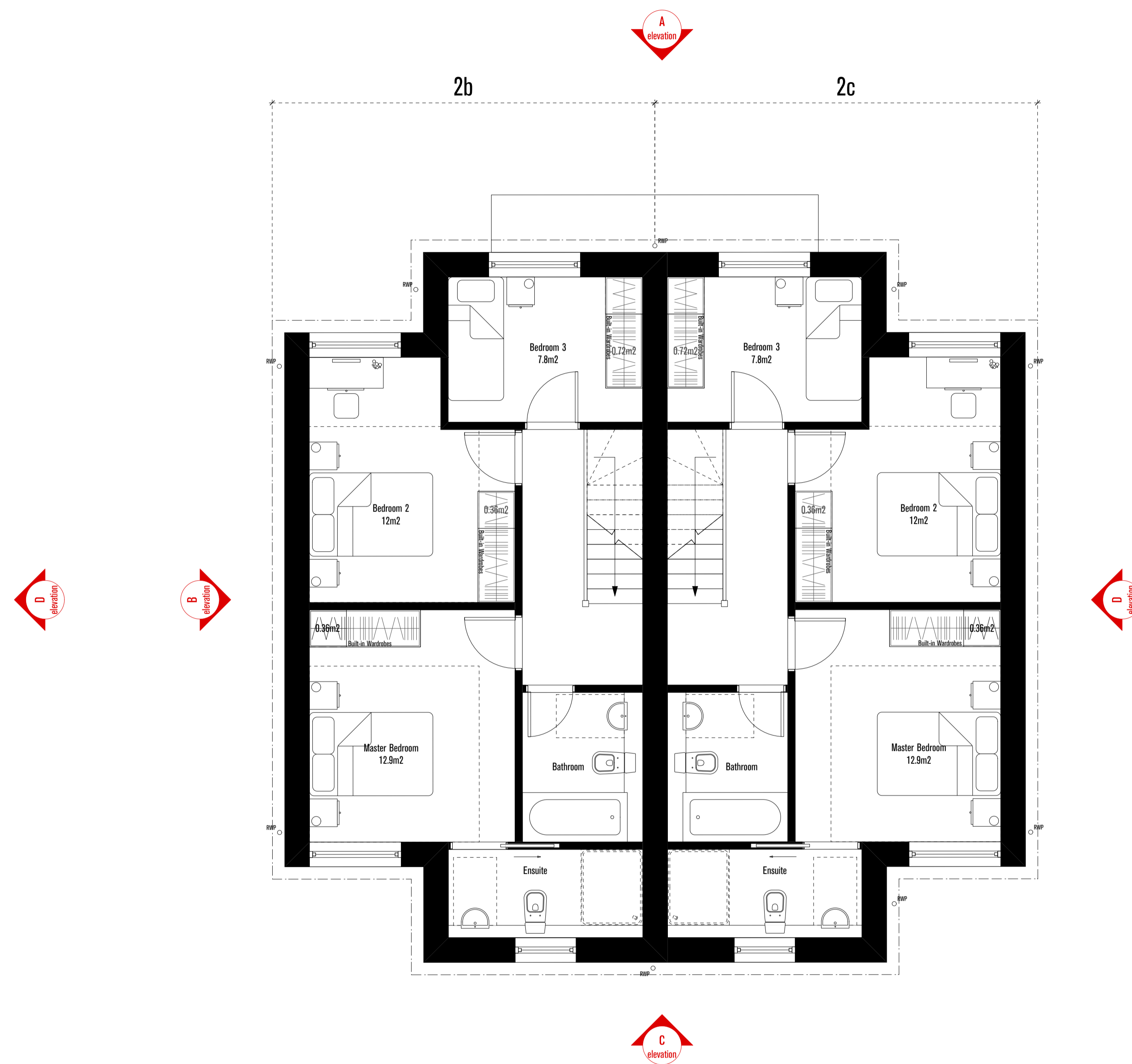
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Ground Floor Plan

Unit 2b Floor GIA - 51.3m²
Unit 2b Total GIA - 102.6m²

Unit 2c Floor GIA - 51.3m²
Unit 2c Total GIA - 102.6m²



First Floor Plan

Unit 2b Floor GIA - 51.3m²
Unit 2b Total GIA - 102.6m²

Unit 2c Floor GIA - 51.3m²
Unit 2c Total GIA - 102.6m²

NOTES

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D3	20/06/2023	Draft issue to client
D4	03/07/2023	Draft issue for review
P1	19/07/2023	Planning issue

PROJECT
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A4495	2101	P1
DRAWING TITLE		
Proposed GA Plans - Units 2b & 2c		

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